

APPLICATION NO	PA/2017/1322
APPLICANT	Lincolnshire Co-operative Ltd
DEVELOPMENT	Planning permission for the erection of a single-storey neighbourhood food store (Class A1 Use), the creation of a new vehicular and pedestrian access, car parking, external plant, equipment, landscaping and associated works
LOCATION	Land adjacent to 47 West Street, Scawby
PARISH	Scawby
WARD	Ridge
CASE OFFICER	Scott Jackson
SUMMARY RECOMMENDATION	Grant permission subject to conditions
REASONS FOR REFERENCE TO COMMITTEE	Significant public interest

POLICIES

National Planning Policy Framework: Paragraph 28 states that to promote a strong rural economy, local and neighbourhood plans should promote the retention and development of local services and community facilities in villages such as shops.

Paragraph 34 states that plans and decisions should ensure developments that generate significant movement are located where the need to travel will be minimised and the use of sustainable transport modes can be maximised.

Paragraph 56 states that the Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

Paragraph 128 states that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.

North Lincolnshire Local Plan: Policies T1, T2, T19, LC11, HE2, HE5, HE9, DS1, DS3 and DS14 apply.

North Lincolnshire Core Strategy: Policies CS1, CS2, CS5, CS6, CS14, CS16, CS17, CS22 and CS25 apply.

Housing and Employment Land Allocations DPD

Scawby Conservation Area Appraisal and Supplementary Planning Guidance

CONSULTATIONS

Conservation Officer: Following receipt of amended plans, no objection subject to conditions requiring a sample panel of external materials, and details of hard and soft landscaping, to be submitted. Recommend an informative that a lime mortar is used.

LLFA Drainage: No objection, but recommends conditions in respect of the submission and implementation of a surface water drainage scheme.

Historic Environment Record: The applicant has submitted a final report of the results of the recent archaeological trial trench evaluation to inform the assessment of significance in accordance with NPPF paragraph 128. The trenches revealed archaeological remains of later post-medieval date of little evidential value. As such, no further archaeological work is recommended in connection with the development of this site.

No further objection to this application in relation to archaeological interest.

Highways: No objection, but recommend three conditions and an informative in respect of works within the highway.

Environmental Health: No objection; recommend conditions in respect of acoustic screening, opening hours, delivery hours, engines of vehicles to be switched off during deliveries and reversing alarms of delivery vehicles to be switched off. In addition, conditions are recommended in relation to waste collection hours, construction hours and the investigation of any unexpected contamination.

PARISH COUNCIL

No objection. Comments made that deliveries to the store should avoid school drop-off and pick-up times, and that none are made after 6.30pm.

PUBLICITY

Two site notices have been displayed. Eight letters of objection (including two from the same address) have been received raising the following issues:

- out of keeping with the street scene
- the rest of the land to the rear will be developed in the future
- parking issues in this part of Scawby
- increase in congestion and hazards
- dangerous and narrow road
- it is the wrong site
- it will result in other village services shutting down
- extra noise and light disturbance

- decrease in house values
- it is a school safety zone and opposite two schools
- pedestrian safety
- there have been recent housing developments and the re-opening of a school, which has increased traffic
- access and egress issues
- impact on LC11 land.

Thirteen letters of support have also been received which raise the following comments:

- great asset to the village
- parking will relieve congestion
- it will result in development of an eyesore site
- the shop is needed
- it fits in with the village
- provides more choice
- results in job creation
- access to services for more people
- no need for more open space in Scawby
- the road is wide enough
- the road is safe
- it is centrally located
- sympathetic design
- secures a facility for the village.

Three letters of general observation have also been received.

ASSESSMENT

The application site comprises part of an agricultural field located in the centre of the village and extends to 0.22 hectares in area. The site is located within the settlement boundary for Scawby, on land designated as an Area of Amenity Importance (LC11 land) and on the edge of the conservation area (runs along the northern boundary). The site is open along its western frontage with West Street (B1207) and bordered by residential properties to the north and south. The primary school is located to the south-west (opposite the site) and a

listed building to the east. The proposal seeks the erection of a convenience food store extending to 385 square metres with 31 car parking spaces; two of which are designated for disabled parking use. It is also proposed to introduce a new vehicular access and associated landscaping, service areas and a trolley park.

The applicant undertook a consultation event on 2 July 2017 at the village hall in Scawby with 120 people attending the event.

The main issues in the determination of this application are the principle of development, impact on the character and appearance of the area/conservation area, impact on residential amenity and highway issues.

Principle

This application is a resubmission of PA/2016/888 for the erection of a retail food store on this site which was previously refused on the grounds of its impact on the LC11 (Area of Amenity Importance) land and the view into the Scawby conservation area. This proposal is seeking to overcome the previous reason for refusal with the convenience store moved further to the south and a reduction in the overall height. Taken verbatim from the planning statement submitted with the planning application, the following revisions have been made:

- The proposed store has been moved southwards to the site boundary to increase the gap and views into the LC11 land. Now the store sits more in the middle of this section of LC11 land providing an almost equal gap at both sides of the proposed store. The architect has sought to maximise the distance between the proposed store and the conservation area boundary to reduce the perceived impacts.
- The amount of planting has been increased at the northern and western boundary to further mitigate the visual impact of the proposed store.
- The amount of proposed hardstanding within the scheme's car park area and the service yard area has been reduced. The scheme also has a reduction in car parking spaces from 37 (including two accessible spaces) to 31 spaces (including two accessible spaces).
- The pedestrian access into the site has been rearranged so that access to the site is direct from the zebra crossing to improve accessibility.
- The height of the store roof has been reduced and consequently the design feature of the entrance canopy is emphasised. Additional design interest to the rear elevation has also been added through the provision of an east-facing gable.

The proposal is for the erection of a convenience food store with associated parking, landscaping and servicing. The proposal will provide a new community facility within the defined settlement boundary for Scawby; this is supported under policy CS22 of the Core Strategy which states that good quality services and facilities will be provided to meet the needs of local communities which are accessible by public transport, cycling or on foot. This policy states that the provision of new facilities should be focused in residential areas where there is no adverse impact on the amenities of neighbouring properties and the provision of services and facilities will be of the scale appropriate to the type and size of the settlement.

The potential impact of the development upon residential amenity will be assessed in a subsequent section of this report; however, the proposal is not considered to be detrimental to residential amenity in this case. With regard to the choice of location, it is noted that the applicant has undertaken a site selection process which considers three other sites in Scawby; this information is contained within the planning statement. Each of the three sites identified were previously discounted for different reasons, namely on the grounds of planning permission existing on one site for residential development and for reasons of suitability, availability and the size of the site being inadequate. In terms of the need for a local food store in Scawby, the Planning Statement submitted with the planning application contains a retail capacity assessment. This assessment considers the total expenditure on convenience goods available in the village of Scawby (a figure of £3.43 million) and the proposal would provide a top-up shopping function rather than a main food shop. This section of the planning statement concludes that there is capacity for up to a 280 square metre food store in Scawby, it would prevent leakage to other settlements located 3–5 kilometres away and prevent people having to travel to other settlements to undertake top-up shopping.

Based on the information submitted in support of the application, it is accepted that the need for the development has been demonstrated and that there are no alternative, more sustainable, sites available within Scawby to accommodate the proposal. The proposal will increase the range of facilities and choice for the residents of Scawby and will deliver 15 full-time or equivalent jobs to the locality. The site is within easy walking distance of all residential properties in the settlements of Scawby and Sturton, it is accessible by bus and cycle and is located within 200 metres of the main community facilities in Scawby; therefore the location is considered to be sustainable and compatible with the size and function of the settlement. It is worth noting that the existing shop in Scawby has recently closed; this further reinforces the requirement for a food store in this settlement.

Settlement character/conservation area

The introduction of a building on an open piece of land which is designated as an Area of Amenity Importance (LC11 land) and which is located on the edge of the conservation area are the main issues to consider.

Scawby has a defined settlement character which principally consists of linear development with a number of residential cul-de-sacs located off the main access roads (Messingham Lane, B1207 and Church Street) interspersed with large swathes of open green spaces and fields designated as LC11 land. It is these areas of green space which provide the village with a sense of openness and local distinctiveness. This site forms part of one of these areas of land which forms an important open space between existing built development in Scawby and is one of the most visually prominent areas of open space owing to its direct frontage onto West Street. In addition the Scawby Conservation Area Appraisal and Supplementary Planning Guidance highlights that this area of land forms an important view into the conservation area, owing to the open nature of the land which forms a 53 metres gap in the street scene along West Street.

The applicant has submitted a Heritage Townscape and Visual Impact Assessment; this document assesses the potential impacts of the development on the local landscape and visual amenity, as well as the effects on the settings of nearby heritage assets.

This document concludes that there would be a minor reduction in evidential, aesthetic value and communal values to the conservation area as a whole, arising from a slight

reduction in an area of open fields at the centre of the village, and the infill of the street frontage to West Street which would result in the obstruction of a locally designated view. However, the document also states that the symmetrical visual gaps incorporated into the revised layout would preserve framed views through to the agricultural land behind, thereby enabling the agricultural setting of the conservation area to remain legible and its significance comprehensible. In conclusion, and applying the tests set out in the National Planning Policy Framework, the document states there would be 'less than substantial harm' to the significance of the Scawby conservation area.

In terms of effects on townscape, the document concludes the effect would be very minor adverse, considered as an effect on the settlement as a whole, and taking into account the urban design benefit of a more consistent unbroken building line to West Street. With regard to effects on views, the document states the proposed building would only be visible in short-range views close to the site.

The effects on the majority of views would be low to negligible as there is a great deal of vegetation surrounding the site and, in most cases, intervening development screens the proposed building from view. The document sets out a number of viewpoints, which are considered to be an accurate representation of key views into the conservation area and across the site. Of note are the two key views identified in this document which are taken from West Street (viewpoint 1) looking across the site in an easterly direction and in a north-easterly direction from West Street (viewpoint 2) respectively. Viewpoint 1 corresponds with the important view identified in the Scawby Conservation Area Appraisal. In terms of the significance and nature of the effect, the document states the impact would be moderate adverse with the visual amenity of the field being lost and the view replaced by an attractive building with a soft landscaped perimeter and frontage to West Street.

The erection of a local food store with a width of 24.3 metres and a ridge height of 8.4 metres (equivalent height of a two-storey dwelling), together with a large area of hardstanding to the front and side (for parking and servicing), is considered to intercept this key view into the Scawby conservation area and across the LC11 land. Inevitably the proposal will enclose the gap between existing dwellings along West Street and result in the partial loss of LC11 land. However, the proposal has been revised and sited further to the south (a distance of 4.45 metres) with additional landscaped sections proposed to the northern and eastern boundaries; this increases the gap between the convenience store and Ingram Gardens to the north and in turn increases the width of the key view into the conservation area. The reduction in the height of the gable roof which runs parallel to the main food store further reduces the height and overall bulk of the roof and the shop within the street scene and results in development which is in keeping with the scale, appearance and materials associated with existing buildings located within the Scawby conservation area.

The proposed development will increase the gap between the proposed store and the dwelling to the north to 21.65 metres; this factor, together with the set-back position of the store (37.5 metres) from the highway frontage and the reduction in its overall bulk, is considered to result in a greater sense of openness in the street scene and improves the views into and across both the LC11 land and into the Scawby conservation area. Whilst it is acknowledged that the physical introduction of a brick-built food store will have some degree of impact in this location, it is considered that the revised proposals submitted with this planning application will not erode this area of open space in Scawby to a significant extent by which its sense of openness, its character, setting and local distinctiveness will be adversely affected. The proposal, by virtue of its siting, scale, height and design, is not

considered to adversely affect an open space and view which the council seeks to protect under guidance set out in the Scawby Supplementary Planning Guidance.

The proposal is for the erection of a local convenience store which features a projecting gable feature and a hipped roof design. It is proposed to have a ridge height of 8.4 metres and features eaves detailing, brick tumbling to the projecting gable and corbelling. In addition, further detail is provided by a contrasting mixed red brick projecting gable, parapet detailing, brick headers to all windows and stone cills and stone walls to the flanks. It is accepted that the detailing and proposed external material finishes (red pantile, red-multi brick and stone walls) of the proposed food store has taken design cues from the appearance of existing buildings and listed buildings located within the Scawby conservation area located directly to the north. Given the location of the proposal adjacent to the Scawby conservation area, it is considered prudent to recommend a condition requiring a sample panel of the proposed external construction materials to be submitted for consideration.

The applicant has ensured the windows to the flank walls are retained and there are further door openings proposed to the side and rear; these openings break up the mass of brickwork and provide visual interest. The applicant has also reduced the height of the projecting gable by 0.2 metres and reduced the height of the hip roof to the rear; this reduces the overall bulk of the building.

Residential amenity

The separation distance from the proposed convenience food store to the nearest sensitive receptor (or residential property) is 20.4 metres to the south. Conditions recommended in respect of opening hours, delivery hours, waste collection, acoustic screening, construction working hours, and engines and reversing alarms for delivery vehicles, are considered sufficient to protect residential amenity in this case. It is worth noting that the service yard is proposed to the northern side of the food store; this is a distance of 41 metres from 41 West Street. No details have been submitted in respect of external lighting; it is considered prudent that these details could be secured by way of a planning condition. The proposed hours of opening for the convenience store are 7am to 10pm daily; these hours are considered to be acceptable in this location. Antisocial behaviour is a matter for the police to address where necessary.

Highways

A number of objections and concerns have been raised in relation to pedestrian and highway safety; these issues are primarily related to the proximity to the primary school. It is noted that there are existing parking restrictions along West Street which continue across the entirety of the site frontage; parking restrictions are in place which prevent the stopping of vehicles between the hours of 8.30am to 9.15am and 3pm to 3.45pm daily. Given that there are existing restrictions within the highway which prevent the stopping and parking of vehicles along West Street, the proposal is not considered to give rise to additional parking within the highway. Furthermore, the level of parking provision to serve the proposed convenience food store (31 spaces) is considered sufficient to meet the needs of the proposal. The approach route (along West Street) is considered to be of sufficient width to accommodate delivery vehicles; in addition, the deliveries can easily be timed to ensure that they take place outside of school drop-off and pick-up times.

The parking of vehicles in an unauthorised, dangerous or obstructive manner along West Street would be a matter for the council's highways team and/or the police to deal with. Highways have raised no objection to the proposal on highway or pedestrian safety grounds.

Other issues

There is the potential to achieve biodiversity enhancement across the development site; this would be secured by way of planning conditions. Devaluation of property prices, competition to existing businesses and impact on view are not material planning issues and will not be assessed in this case. The site currently serves as an agricultural field and there is sufficient scope within the application site to employ surface water management regimes; this will be sufficient to discharge via soakaway. The proposal is not being considered for alternative forms of development and therefore has been assessed for retail development in this case. In addition, any proposals to further develop the LC11 land to the rear of the site would require a separate planning application; such an application would be considered on its own merits.

RECOMMENDATION Grant permission subject to the following conditions:

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans: J1549 (08) 01 A, J1549 (08) 03 D, J1549 (08) 04 E, J1549 (08) 05 B, J1549 (08) 09 D, J1549 (08) 10, J1549 (08) 11 B, J1549 (08) 12 B and J1549 (08) 13 B.

Reason

For the avoidance of doubt and in the interests of proper planning.

3.

The development shall not be brought into use until:-

- the pedestrian and vehicular access to the site;
- the access roads to the service and customer parking area;
- the loading, off--loading and turning areas for all vehicles;
- the parking spaces and access aisles (including surface markings); and
- the cycle parking facilities;

have been provided in accordance with the approved details and all these facilities shall thereafter be so retained.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

4.

The proposed development shall not be brought into use until a delivery/servicing management plan (including delivery times) has been submitted to and approved in writing by the local planning authority. Once approved the delivery/servicing plan shall be implemented.

Reason

In the interests of highway safety and to comply with policies T2 and T19 of the North Lincolnshire Local Plan.

5.

No development shall take place until a construction phase traffic management plan showing details of all associated traffic movements, including delivery vehicles and staff/construction movements, any abnormal load movements, contractor parking and welfare facilities, storage of materials and traffic management requirements on the adjacent highway, has been submitted to and approved in writing by the local planning authority. Once approved the plan shall be implemented, reviewed and updated as necessary throughout the construction period.

Reason

In the interests of highway safety and to comply with policy T19 of the North Lincolnshire Local Plan.

6.

No fixed plant or machinery shall come into operation until details of the acoustic screening/mitigation methods have been submitted to and agreed in writing by the local planning authority. The approved acoustic screening/mitigation measures shall be installed prior to commencement of plant operation and shall be retained thereafter.

Reason

To define the terms of the permission and to ensure that the development safeguards the amenity of neighbouring properties in accordance with policy DS1 of the North Lincolnshire Local Plan.

7.

Hours of opening shall be restricted to 7am to 10pm daily.

Reason

To define the terms of the permission and in the interests of safeguarding residential amenity in accordance with policy DS1 of the North Lincolnshire Local Plan.

8.

All deliveries to and collections from the proposed food store hereby approved shall be restricted to the following hours:

Monday to Saturday: 7am to 7pm

Sundays and public/bank holidays: 10am to 4pm.

The engines and refrigeration equipment of delivery vehicles shall be switched off while the vehicles are on site.

Reason

To define the terms of the permission and to safeguard residential amenity in accordance with policy DS1 of the North Lincolnshire Local Plan.

9.

All waste collections from the proposed development shall be restricted to the hours of Monday to Saturday 7am to 7pm with no collections on Sundays or public/bank holidays.

Reason

To define the terms of the permission and to safeguard residential amenity in accordance with policy DS1 of the North Lincolnshire Local Plan.

10.

All construction activities for the proposed development shall be restricted to the following periods:

Monday to Friday: 8am to 7pm

Saturday: 8am to 1pm.

No construction activities shall take place on Sundays or public/bank holidays.

Reason

To define the terms of the permission and to safeguard residential amenity in accordance with policy DS1 of the North Lincolnshire Local Plan.

11.

If, during development, any odorous, discoloured or otherwise visually contaminated material is found to be present at the site then no further development shall be carried out until a written method statement detailing how this contamination shall be dealt with has been submitted to and approved in writing by the local planning authority.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

12.

No development shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These details shall include means of enclosure; car parking layouts; other vehicle and pedestrian access and circulation areas; hard surfacing

materials; minor artefacts and structures (for example, furniture, play equipment, refuse or other storage units, signs, lighting etc).

Reason

To enhance the appearance of the development in the interests of amenity.

13.

All the approved landscaping shall be carried out within twelve months of development being commenced (unless a longer period is agreed in writing by the local planning authority). Any trees or plants which die, are removed or become seriously damaged or diseased within five years from the date of planting shall be replaced in the next planting season with others of similar size and species to those originally required to be planted, unless the local planning authority agrees in writing to any variation.

Reason

To ensure the implementation and maintenance of the submitted scheme of landscaping for the proposed development.

14.

No development shall take place until a full sample panel of all external facing materials to be used has been submitted to and approved in writing by the local planning authority and only the approved materials shall be used.

Reason

To ensure that the building is in keeping with its surroundings in the interests of visual amenity, and with the character and appearance of the Scawby conservation area, in accordance with policies DS1 and HE2 of the North Lincolnshire Local Plan, and CS6 of the North Lincolnshire Core Strategy.

15.

Notwithstanding the submitted information, no development shall take place until a surface water drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall be based on sustainable drainage principles and an assessment of the hydrological and hydro-geological context of the development. The drainage scheme shall be undertaken in accordance with the agreed details and the food store shall not be brought into first use until it is connected to the agreed system.

Reason

To define the terms of the permission, to prevent the risk of flooding, and to ensure the implementation and future maintenance of sustainable drainage structures in accordance with policies DS16 of the North Lincolnshire Local Plan and CS19 of the North Lincolnshire Core Strategy.

Informative 1

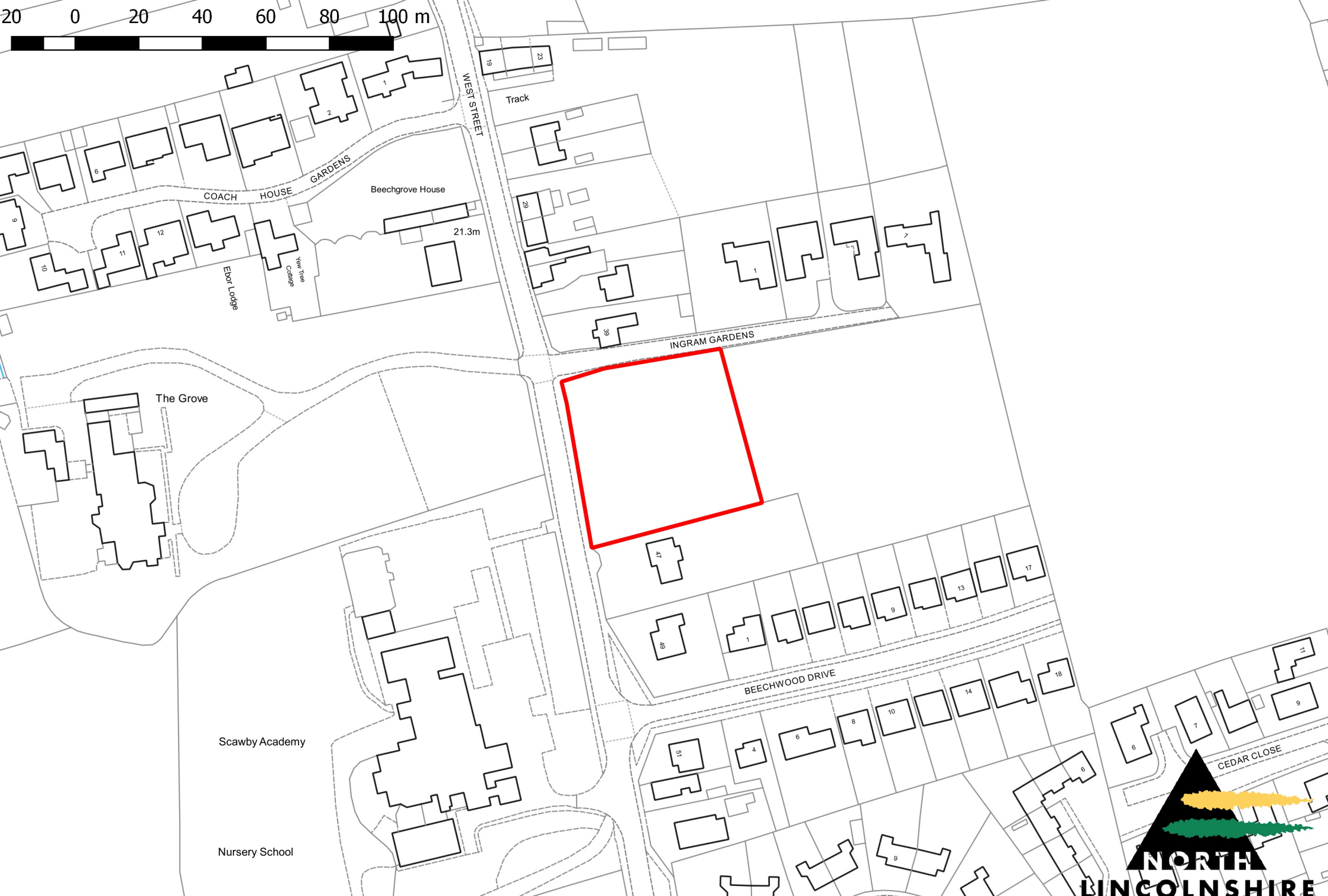
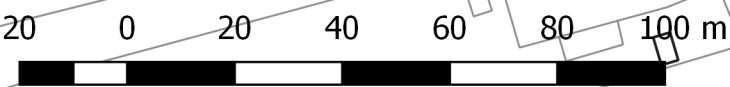
The development hereby granted planning permission requires works to be carried out within the limits of the adopted (public) highway. Therefore:

- before ANY construction works take place within the limits of the highway you **MUST** contact the highway authority on telephone number 01724 297000 to arrange for the relevant permissions/licenses to be issued;

- before ANY service (utility) connections take place within the limits of the highway you MUST contact the highway authority on telephone number 01724 297319 to arrange for the relevant permissions/licenses to be issued.

Informative 2

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraphs 186 and 187 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



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AMENDED

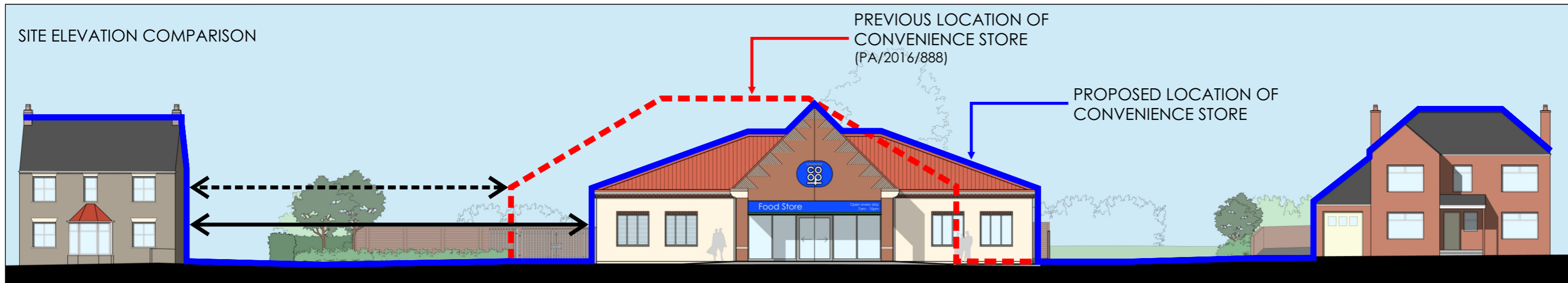
PREVIOUS APPLICATION SITE ELEVATION (PA/2016/888)



PROPOSED SITE ELEVATION

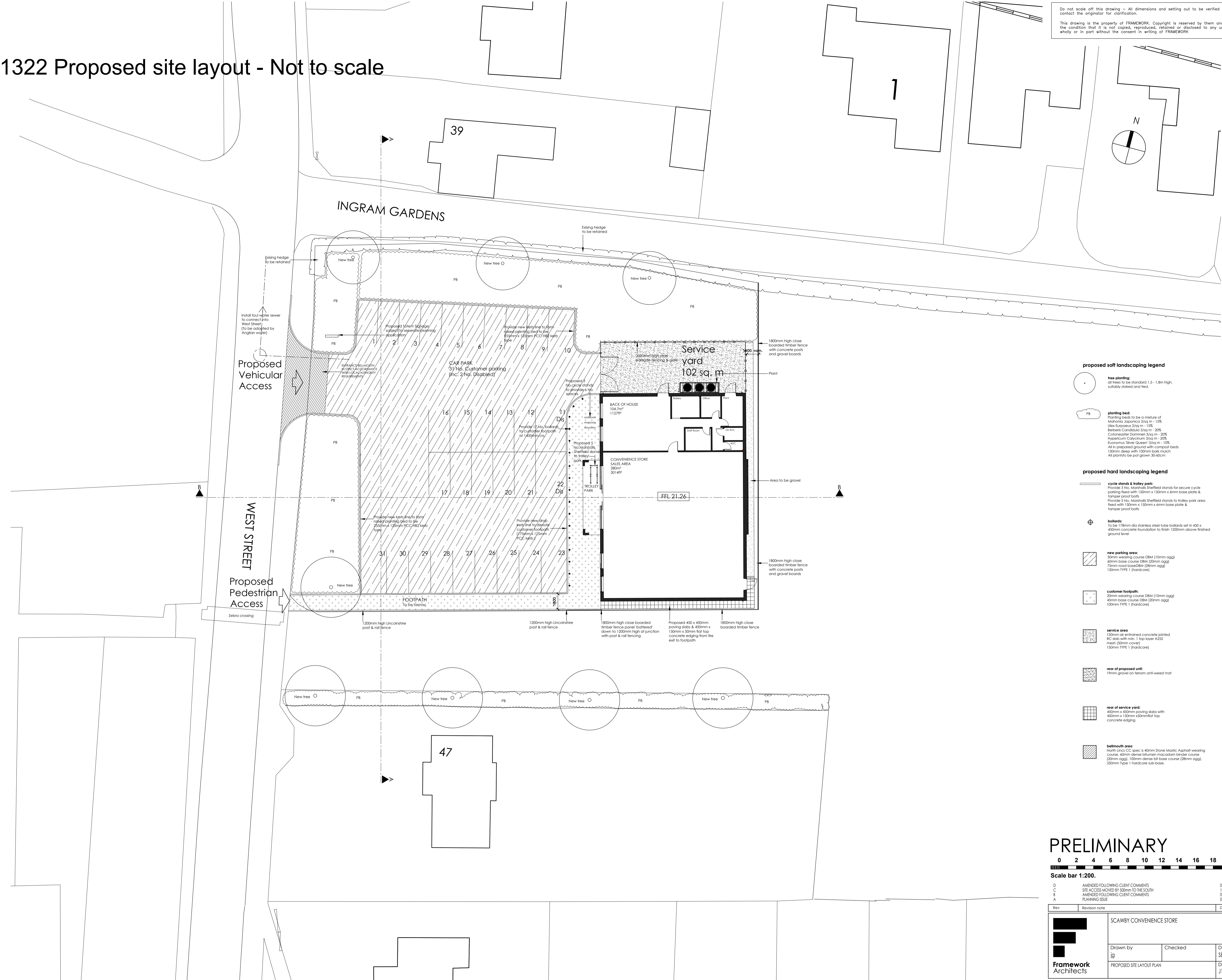


SITE ELEVATION COMPARISON



PA/2017/1322 Proposed site layout - Not to scale

Do not scale off this drawing - All dimensions and setting out to be verified on site. If in doubt contact the originator for clarification.
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proposed soft landscaping legend

- tree planting:** all trees to be standard 1.5 - 1.8m high, suitably staked and tied.
- planting bed:** Planting beds to be a mixture of *Malva*, *Agrostis* 3/4 m - 1/3, *Ulex Europaeus* 3/4 m - 1/3, *Berberis Canadensis* 3/4 m - 2/5, *Cotoneaster Dammeri* 3/4 m - 2/5, *Hypericum Calycinum* 3/4 m - 2/5, *Eucymia 'Silver Queen'* 3/4 m - 1/5. All in prepared ground with compost beds 150mm deep with 100mm topsoil. All plants to be pot grown 30-60cm.

proposed hard landscaping legend

- cycle stands & trolley park:** Provide 3 No. Marshalls Sheffield stands for secure cycle parking fixed with 150mm x 150mm x 6mm base plate & tamper proof bolts. Provide 5 No. Marshalls Sheffield stands to trolley park area fixed with 150mm x 150mm x 6mm base plate & tamper proof bolts.
- bollards:** To be 178mm dia stainless steel tube bollards set in 450 x 450mm concrete foundation to finish 1200mm above finished ground level.
- new parking area:** 30mm wearing course DBM (10mm ogal) 40mm base course DBM (20mm ogal) 75mm road base DBM (20mm ogal) 150mm TYPE 1 (hardcore).
- customer footpath:** 20mm wearing course DBM (10mm ogal) 40mm base course DBM (20mm ogal) 100mm TYPE 1 (hardcore).
- service area:** 150mm of entrained concrete panned RC slab with min. 1 top layer A252 mesh (50mm cover) 150mm TYPE 1 (hardcore).
- rear of proposed unit:** 100mm gravel on taran antiweed mat.
- rear of service yard:** 40mm x 40mm paving slabs with 40mm x 150mm x 50mm flat top concrete edging from fire exit to footpath.
- belmouth area:** North Lincoln spec is 40mm Stone Mastic Asphalt wearing course, 40mm dense bitumen macadam binder course (20mm ogal), 100mm dense bit base course (28mm ogal), 250mm Type 1 hardcore sub-base.

PRELIMINARY



Scale bar 1:200.

Rev	Revision note	Date	Drawn by
D	AMENDED FOLLOWING CLIENT COMMENTS	07.03.17	SW
C	SITE ACCESS MOVED BY 50MM TO THE SOUTH	14.07.16	SW
B	AMENDED FOLLOWING CLIENT COMMENTS	03.05.16	SW
A	PLANNING ISSUE	06.04.16	SW

SCAWBY CONVENIENCE STORE			
Drawn by	Checked	Date	Scale
jg		SEPT 2015	1:200 @ A1
PROPOSED SITE LAYOUT PLAN		Dwg No	Rev
		J1549 (08) 03	D

AMENDED



RED PANTILE

The main roofing material used within the Scawby conservation area is red pantile. The scheme proposes to reflect this.



TUMBLED GABLE

The tumbled gable is a feature brick detail used on multiple occasions though out Scawby. When used within the village a contrasting brick colour is used to highlight the detail.



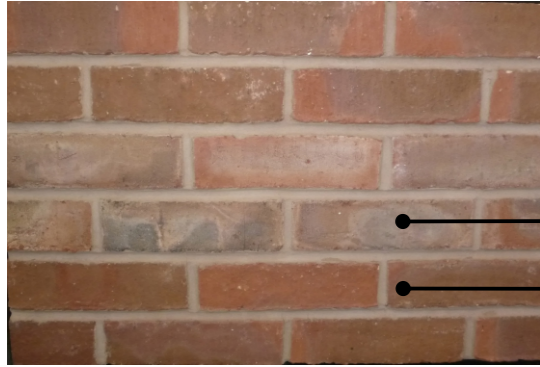
MOULDED CORBEL ARTSTONE

This detail has been used within Scawby to highlight principle elevations.



FEATURE BRICK EAVES DETAIL

Within Scawby brick eaves detailing is prominent with both dentil and dogtooth courses demonstrated in the village.



SAMPLE BRICK PANEL

Panel shows the proposed contrasting bricks. Proposed red brick: Upper and lower two courses. Proposed buff brick: Central two courses.



SAMPLE STONE PANEL

Panel shows the proposed Bradstone rough dressed reconstructed stone walling laid in traditional fully random pattern, colour buff.



CONTRASTING BRICK PORCH

Brick porches within the village demonstrate the use of a contrasting brick, to differentiate the structure from the main body of the building.